

Comprehensive Plan Changes

2
4 (1) Existing Comprehensive Plan Discussion of Westgate (“Community Commercial Areas”)

6 ...
8 C. Goals for Community Commercial Areas. Community commercial areas are comprised of commercial development serving a dual purpose: services and shopping for both local residents and regional traffic. The intent of the community commercial designation is to
10 recognize both of these purposes by permitting a range of business and mixed use development while maintaining a neighborhood scale and design character.

12 C.1. Permit uses in community commercial areas that serve both the local neighborhood and regional through-traffic.

14 C.2. Provide for transit and pedestrian access in addition to the need to accommodate automobile traffic.

16 C.3. Provide for the pedestrian-scale design of buildings that are two stories or less in height and that contain architectural features that promote pedestrian activity.

18 C.4. Provide pedestrian walkways and transit connections throughout the community commercial area, assuring connections to nearby residential neighborhoods.

20 ...

22 (2) Goals from the Westgate Study:

24 A. Encourage mixed-use development, including offices and retail spaces in conjunction with residential uses, in a walkable community center a variety of amenity and open
26 spaces. The intent is to establish a connection between neighborhoods; create a desirable center for local residents, while being inviting to visitors; and unify the
28 larger Westgate District with a distinctive character.

30 B. Create mixed-use walkable, compact development that is economically viable, attractive and community-friendly.

32 C. Improve connectedness for pedestrian and bicycle users.

34 D. Prioritize amenity spaces for informal and organized gatherings.

36 E. Emphasize green building construction, stormwater infiltration, and a variety of green features.

38 F. Establish a flexible regulating system that creates quality public spaces by regulating building placement and form.

40 G. Ensure civic and private investments contribute to increased infrastructure capacity and benefit the surrounding neighborhoods and the community at large.

42 H. Encourage the development of a variety of housing choices available to residents of all economic and age segments.

44 (3) Merged proposal:

C. Goals for the Westgate Community Commercial Area. Westgate is comprised of commercial development serving a dual purpose: services and shopping for both local

residents and regional traffic. The intent of the community commercial designation is to recognize both of these purposes by permitting a range of business and mixed use development while maintaining a neighborhood scale and design character.

C.1. Permit uses in Westgate that serve both the local neighborhood and regional through-traffic.

A

C.2. Encourage mixed-use development, including offices and retail spaces in conjunction with residential uses, in ~~a walkable~~ community center that accommodates both vehicular and pedestrian circulation while featuring a variety of amenity and open spaces. The intent is to establish a connection between neighborhoods; create a desirable center for local residents, while being inviting to visitors; and unify the larger Westgate District with a distinctive character.

C.23. Create mixed-use walkable, compact development that is economically viable, attractive and community-friendly.

C.34. Improve connectedness for pedestrian and bicycle users in a transit-friendly environment.

C.45. Prioritize amenity spaces for informal and organized gatherings.

C.56. Emphasize green building construction, stormwater infiltration, and a variety of green features.

C.67. Establish a flexible regulating system that creates quality public spaces by regulating building placement and form.

C.78. Ensure civic and private investments contribute to increased infrastructure capacity and benefit the surrounding neighborhoods and the community at large.

C.89. Encourage the development of a variety of housing choices available to residents of all economic and age segments.

Code Changes to Implement Westgate Study (all new)

Chapter 16.110

WMU – Westgate Mixed Use Zone District

Sections:

16.110.000 Purposes.

16.110.010 Uses.

16.110.020 Site development standards.

16.110.030 Operating restrictions.

16.110.000

Purposes.

The WMU zone has the following specific purposes in addition to the general purposes for business and commercial zones listed in Chapter 16.40 ECDC:

- A. Encourage mixed-use development, including offices and retail spaces in conjunction with residential uses, in a walkable community center a variety of amenity and open spaces. The intent is to establish a connection between neighborhoods; create a desirable center for local residents, while being inviting to visitors; and unify the larger Westgate District with a distinctive character.
- B. Create mixed-use walkable, compact development that is economically viable, attractive and community-friendly.
- C. Improve connectedness for pedestrian and bicycle users.
- D. Prioritize amenity spaces for informal and organized gatherings.
- E. Emphasize green building construction, stormwater infiltration, and a variety of green features.
- F. Establish a flexible regulating system that creates quality public spaces by regulating building placement and form.
- G. Ensure civic and private investments contribute to increased infrastructure capacity and benefit the surrounding neighborhoods and the community at large.
- H. Encourage the development of a variety of housing choices available to residents of all economic and age segments.

16.110.010

Uses.

- A. Table 16.110-1.

Permitted Uses	MWU	BD2 for comparison
Commercial Uses		

Permitted Uses	MWU	BD2 for comparison
Retail stores or sales	A	A
Offices	A	A
Service uses	A	A
Retail sales requiring intensive outdoor display or storage areas, such as trailer sales, used car lots (except as part of a new car sales and service dealer), and heavy equipment storage, sales or services	X	X
Enclosed fabrication or assembly areas associated with and on the same property as an art studio, art gallery, restaurant or food service establishment that also provides an on-site retail outlet open to the public	A	A
Automobile sales and service	C	A
Dry cleaning and laundry plants which use only nonflammable and nonexplosive cleaning agents	A	A
Printing, publishing and binding establishments	A	A
Public markets licensed pursuant to provisions in Chapter 4.90 ECC	A	A
Residential Uses		
Single-family dwelling	C	A
Multiple dwelling unit(s)	A	A
Other Uses		
Bus stop shelters	A	A
Churches, subject to the requirements of ECDC 17.100.020	C	A
Primary and high schools, subject to the requirements of ECDC 17.100.050(G) through (R)	C	A
Local public facilities, subject to the requirements of ECDC 17.100.050	C	C
Neighborhood parks, natural open spaces, and community parks with an adopted master plan subject to the requirements of ECDC 17.100.070	A	A
Off-street parking and loading areas to serve a permitted use	B	B
Commuter parking lots in conjunction with a facility otherwise permitted in this zone	B	B

Permitted Uses	MWU	BD2 for comparison
Commercial parking lots	C	C
Wholesale uses	X	X
Hotels and motels	A	A
Amusement establishments	C	C
Auction businesses, excluding vehicle or livestock auctions	X	C
Drive-in businesses	C	C
Laboratories	C	C
Fabrication of light industrial products not otherwise listed as a permitted use	X	X
Day-care centers	A	C
Hospitals, health clinics, convalescent homes, rest homes, sanitariums	C	C
Museums and art galleries of primarily local concern that do not meet the criteria for regional public facilities as defined in ECDC 21.85.033	A	A
Zoos and aquariums of primarily local concern that do not meet the criteria for regional public facilities as defined in ECDC 21.85.033	C	C
Counseling centers and residential treatment facilities for current alcoholics and drug abusers	C	C
Regional parks and community parks without a master plan subject to the requirements of ECDC 17.100.070	C	C
Outdoor storage, incidental to a permitted use	D	D
Aircraft landings as regulated by Chapter 4.80 ECC	X	D

- 2 A = Permitted primary use
- B = Permitted secondary use
- 4 C = Primary uses requiring a conditional use permit
- D = Secondary uses requiring a conditional use permit
- 6 X = Not permitted

For conditional uses listed in Table 16.110-1, the use may be permitted if the proposal meets the criteria for conditional uses found in Chapter 20.05 ECDC, and all of the following criteria are met:

1. Access and Parking. Pedestrian access shall be provided from the sidewalk and/or adjoining commercial areas.

2. The use shall be landscaped and designed to be compatible with the pedestrian streetscape, as described in Chapter 22.110 ECDC.

16.110.020

Site development standards.

A. Building and site development standards are specified in Chapter 22.110 ECDC.

B. Building setback along external streets. A building setback is required as follows:

~~10~~ feet from 100th Avenue W

~~10~~ feet from SR-104

C. Setbacks and Screening from R-zoned property. All buildings shall be set back a minimum of 15 feet from adjacent R-zoned properties. The required setback from R-zoned property shall be permanently landscaped with trees and ground cover and ~~perma-~~
~~nently~~ permanently maintained by the owner of the WMU lot. A six-foot minimum height fence, wall or solid hedge running the length of the setback shall be provided ~~at some point~~
~~in~~ within the setback area.

D. Parking. Parking requirements are:

1. 1 space for every 500 square feet of leasable commercial space.

2. 1.2 spaces for every dwelling unit.

Parking meeting the commercial parking requirements shall be open to the public throughout business operating hours. Shared parking may be provided per ECDC ###.

E. Satellite television antennas shall be regulated as set forth in ECDC 16.20.050.

16.110.030

Operating restrictions.

A. Enclosed Building. All uses shall be carried on entirely within a completely enclosed building, except:

1. Public utilities and parks and uses associated with amenity and open spaces;

2. Off-street parking and loading areas, and commercial parking lots;

3. Drive-in businesses;

4. Plant nurseries;

5. Public markets; provided, that when located next to a single-family residential zone, the market shall be entirely within a completely enclosed building;

6. Limited outdoor display of merchandise meeting the criteria of Chapter 17.65 ECDC;

7. Motorized and nonmotorized mobile vending units meeting the criteria of Chapter 4.12 ECC.

B. Nuisances. All uses shall comply with Chapter 17.60 ECDC, Performance Standards. [Ord. 3320 § 2, 2000].

Chapter 22.110

2

Design Standards for the WMU – Westgate Mixed Use District

4 Sections:

22.110.000 Purpose and Intent.

6 22.110.010 Building Types.

22.110.020 Frontage Types.

8 22.110.030 Green Building Construction and Housing

22.110.050 Circulation.

10 22.110.070 Amenity Space and Green Feature Types.

22.110.080 Public Space Standards.

12 22.110.090 Height Bonus

16.110.000 Purpose and Intent.

14 The core concept for the Westgate Mixed Use District is to create a vibrant mixed-use
16 activity center that enhances the economic development of the city and provides housing as
18 well as retail and office uses to meet the needs of all age groups. The plan seeks to retain key
20 features of the area, including protecting the large trees and green surrounding hillsides, while
increasing walkability and gathering spaces, such as plazas and open spaces. Important
aspects of this plan include:



22 *Protecting steep slopes is a core concept of the plan.*

- 24 • Designing a landscape emphasis for the primary intersection.
- 26 • Creating a lively pedestrian environment with wide sidewalks and requirements for
buildings to be placed close to the sidewalk.
- 28 • Landscaping the plazas, open spaces, and parking areas with a requirement of 15%
landscaped open space.

- Promoting a sustainable low-impact development with a requirement for bioswales, rain gardens, green roofs and other features to retain and infiltrate storm water.
- Providing workforce housing and increasing residential uses with a requirement of 10% small-sized dwelling units.
- Providing options for non-motorized transportation linking new bike lanes into the city's larger system of bike lanes and extending sidewalks and pedestrian paths into the surrounding residential areas.

16.110.010 Building Types.

A. Properties in the Westgate District are allowed buildings up to 3 stories in height, with an additional story permitted for development meeting the bonus criteria, including considerations of topography. See ~~Section ###~~ Chapter 16.110.090 ECDC for bonus provisions. There are seven Building Types allowed in the Westgate District, as listed below:

1. Rowhouse - Two or more attached story townhome apartments or condominiums.
2. Courtyard - A cluster of apartment or condominium flats arranged to share one or more common courtyards.
3. Stacked Dwelling - The building massing is predicated on horizontal repetition and vertical stacking of non-residential commercial uses on the ground level with residential above.
4. Live-work - An integrated housing apartment or condominium and working space designed to accommodate joint residential and work activity uses.
5. Loft Mixed-Use - Loft Mixed-Use buildings are predicated on horizontal repetition and vertical stacking of units organized on lobby, corridor, and elevator access. Loft buildings have greater height per floor to accommodate the second floor loft area within a unit.
6. Side Court Mixed-Use - Retail mixed-Use with office or residential above, or community service mixed-use with office or residential above.
7. Commercial Block | Mixed-Use - Mixed-use with retail and/or service uses, with residential above.

B. Building Height. Building heights are described in terms of stories. Regardless of the number of stories specified, overall building heights in the Westgate Mixed Use zone cannot exceed 35 feet (or 45 feet for buildings with 4 stories). Buildings may only include a 4th story if the building meets the criteria contained in Chapter 22.110.090 ECDC.

C. Building Locations. Setbacks established in Chapter 16.110.020 describe the minimum distances buildings must be placed from the SR-104 and 100th Avenue W rights-of-way. In general, buildings are preferred to be located near these rights-of-way so that the buildings can relate to each other and help to define the adjoining open space and amenity spaces that will surround them. However, exceptions may be granted as part of the design review process when it can be demonstrated that a proposed building will achieve these goals while also fitting into an established building and circulation pattern.

D. Building Type Descriptions. The following describe the different building types and include diagrams indicating where each building type is allowed. Note that where descriptions and standards refer to “street” this is intended to refer to either an external street or an internal

street or drive which provides secondary vehicular and pedestrian access within the overall development(s).

~~Building heights are specified by floors. Where a building type indicates a maximum number of floors, an additional floor~~

Each Building Type is allowed only within specified locations within the Westgate District, as shown in figures below. Most properties have an option of several building types.

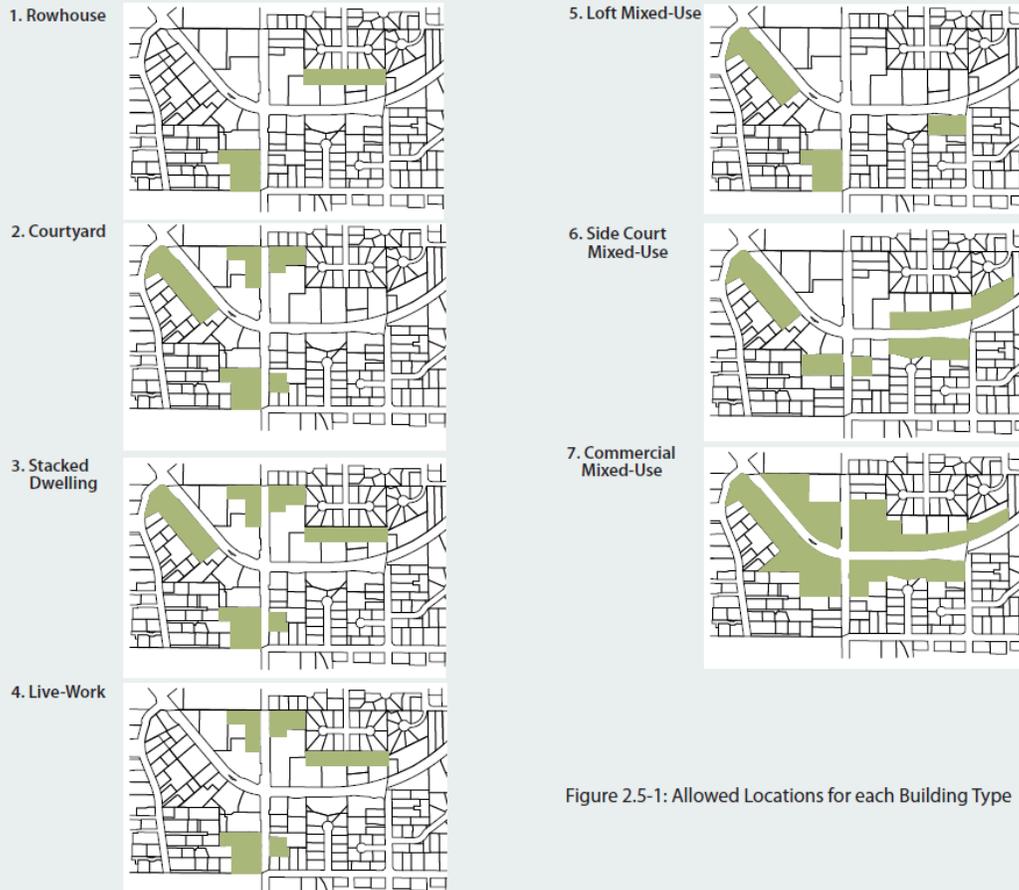


Figure 2.5-1: Allowed Locations for each Building Type

Table of general allowed uses by floor for each building type.

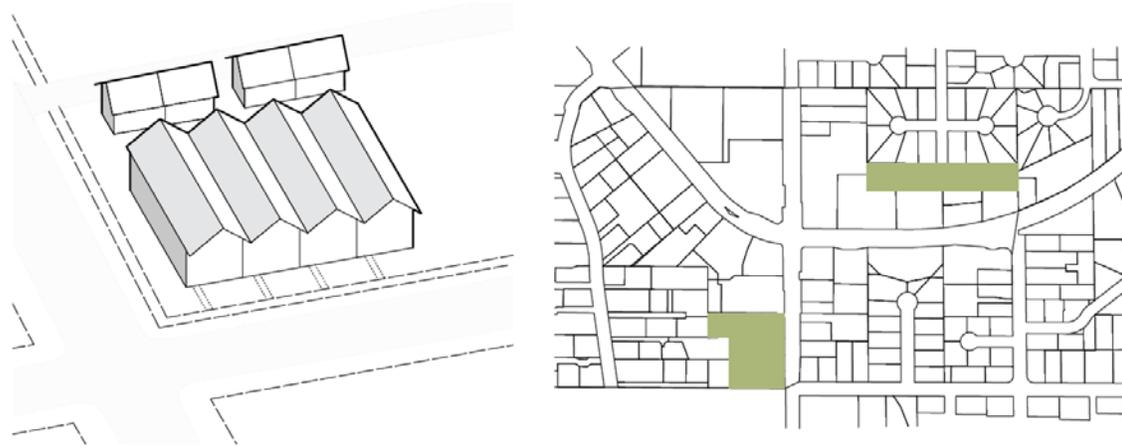
Building Type	Residential Uses	Office Uses	Retail
Rowhouse	Any floor	Not allowed	Not allowed
Courtyard	Any floor	Ground floor only	Ground floor only
Stacked Dwellings	Any floor	Ground floor only	Ground floor only
Live-Work	Any floor	Ground floor only	Ground floor only
Loft Mixed Use	Not ground floor ¹	Any floor	Any floor
Side Court Mixed Use	Any floor	Any floor	Ground floor only
Commercial Block Mixed Use	Not ground floor	Not ground floor	Any floor

¹ “Not ground floor” means any floor other than the ground floor of a building.

~~B. Building Type Descriptions. The following describe the different building types and include diagrams indicating where each building type is allowed. Note that where descriptions and standards refer to “street” this is intended to refer to either an external street or an internal street or drive which provides secondary vehicular and pedestrian access within the overall development(s).~~

~~C. Building Height. Building heights are described in terms of stories. Regardless of the number of stories specified, overall building heights in the Westgate Mixed Use zone cannot exceed 45 feet. In addition, buildings may be increased by up to one story if the building meets the criteria contained in Chapter 22.110.090 ECDC.~~

1. Rowhouse



Rowhouse type diagram and allowed locations.



Description.

Two or more attached dwellings up to 3 stories in height with zero side yard setbacks located on a qualifying lot in the Westgate District as shown in the Allowed Locations Diagram.

Access.

2 The primary entrance to each dwelling shall be accessed directly from and face the external
street if feasible. Where dwellings are accessed from internal streets or circulation drives, then
4 the primary entrance to each dwelling shall be accessed directly from and face the internal
street or circulation drive. Parking and services shall be accessed from an internal street or
6 alley or tuck-under parking in a Mixed Type Development. Parking entrances are allowed on
an internal street if the garage entrance does not occupy more than one half the building
8 frontage.

Amenity Space.

10 Usable outdoor space shall be provided in conjunction with and related to the dwelling
units at no less than 15% of the lot area devoted to residential uses. The outdoor space shall be
12 of a regular geometry so that the space is usable for recreational or leisure use. Where
buildings back up to steep topography, the open space is not required to be usable.

Landscape.

14 Landscape may be used to separate a front yard from the front yards of adjacent units or
16 buildings. Front yard trees shall be of porch scale where adjacent to the porch (at maturity, no
more than 1.5 times the height of the porch) except at the margins of the lot and as a part of
18 the frontage landscaping at the street sidewalk interface, where they may be of house scale
(no more than 1.5 times the height of the house at the maturity of the tree). At least one large
20 tree shall be provided or an existing significant tree shall be maintained in each rear yard for
shade and privacy.

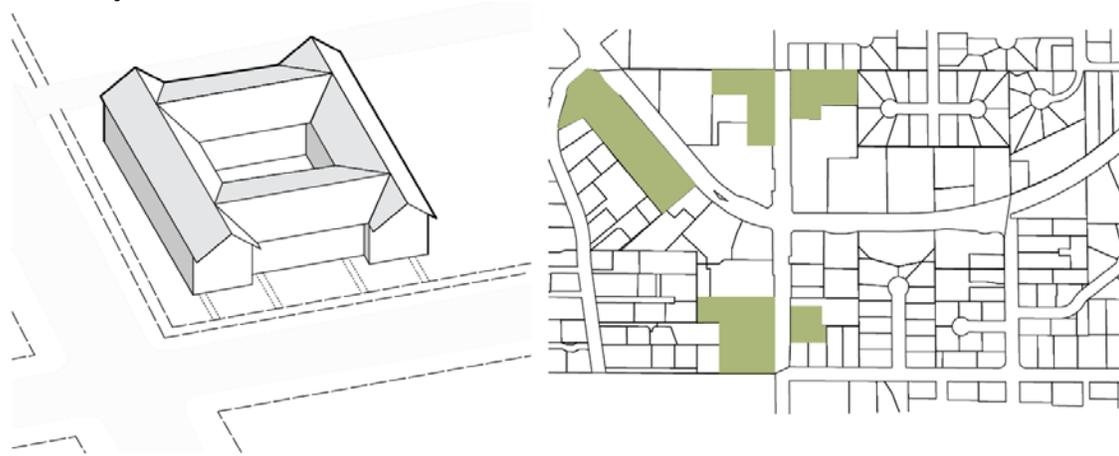
Building Size and Massing.

22 Buildings shall have heights of not more than 3 stories. Buildings on corner properties
24 adjacent to streets shall be designed with a main façade and a secondary façade to provide
street frontage on all streets. In a 3 story building, a townhouse dwelling may be stacked over
26 a ground floor flat. In this case, the flat shall be accessed by its own front doors at the street
and the townhouse dwelling shall be accessed by a separate front door and an internal stair. In
28 a 2 story building, the rowhouse consists of a townhouse dwelling that is accessed from the
street and faces the street, or residential flats that each have a street entry.

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2. Courtyard



Courtyard type diagram and allowed locations.



Description.

A cluster of dwelling units arranged to share one or more common courtyards. The individual units may be rowhouses or flats or stacked flats up to 3 stories in height. The courtyard is private space that is adjacent to the public realm and may provide access to tuckunder parking. Courtyard building types may house ground floor commercial/flex uses if commercial uses are subordinate to the residential use.

Access

- The main entry to each ground floor dwelling shall be directly off a common courtyard or directly from a street. Access to commercial uses shall be directly from a street.

- Access to second-story units shall be through an open or open roofed stair.

- Parking shall be accessed through an alley or interior street if present.

Amenity Space. Sites shall be designed to provide usable open space with a total area of 15% of the lot. A central courtyard and / or multiple separated or interconnected courtyards, roof decks, green roofs, plaza and courtyards may be included in the cumulative total area. In a project with multiple courtyards at least two of the courtyards shall conform to the patterns below:

• Optimal court dimensions are 40 feet when the long axis of the court is oriented East/West and 30 feet when the court is oriented North/South.

• In 40-foot wide courts, the frontages and architectural projections allowed within the applicable zone are permitted on two sides of the court; they are permitted on one side of a 30-foot wide court.

• Private open space is allowed in side and rear yard, courtyards, balconies and roof decks.
• Courtyards shall be connected to the public way and/or to each other. Connecting spaces shall be 10-15 feet wide.

Landscape.

Landscape may not be used to separate a front yard from the front yards on adjacent parcels. Front yard trees shall be of porch scale where adjacent to the porch (at tree's maturity, no more than 1.5 times the height of the porch) except at the margins of the lot and as a part of the frontage landscaping at the street sidewalk interface, where they may be of house scale (no more than 1.5 times the height of the house at the maturity of the tree).

At least one large tree shall be provided or an existing significant tree shall be maintained in each rear yard for shade and privacy.

Frontage.

• Entrance doors and living spaces (great room, dining, living, family) should be oriented toward the courtyard and exterior street. Service rooms may be oriented toward the side-yard, rear yard or alley.

• No exterior arcade may encroach into the required minimum width of the courtyard.

• Stoops up to 3 feet in height may be placed above below grade parking.

Building size and massing.

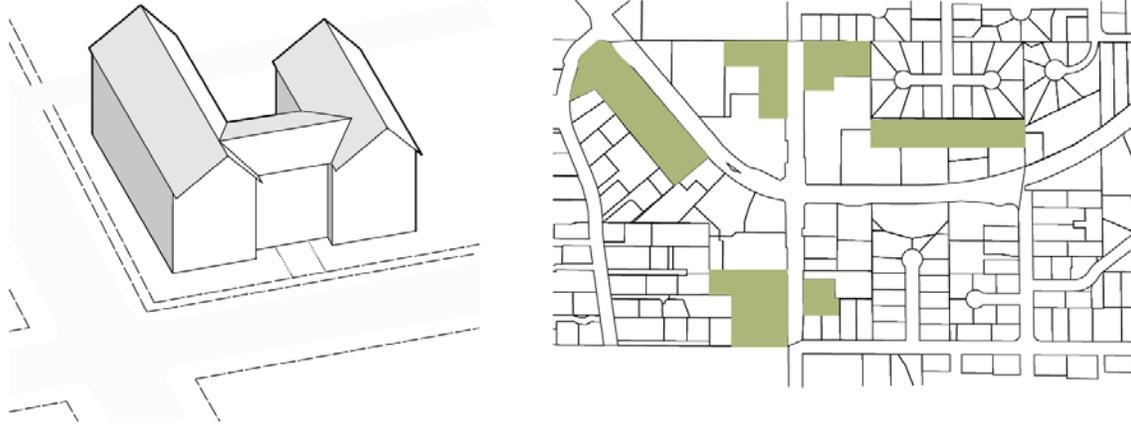
• Buildings shall be composed of flats and rowhouses alone or in combination.

• Units may be repetitive or unique in design.

• Buildings shall be composed of one, two, or three story masses, each designed to house scale.

• The building is not required to appear to be one building.

3. Stacked dwellings



Stacked dwellings type diagram and allowed locations.



Description

Stacked Dwellings up to 3 stories in height are predicated on horizontal repetition and vertical stacking of units organized on lobby, corridor, and stairs or elevator access. These buildings may be used for ancillary non-residential commercial uses on the ground level only.

Access

- The primary entrance to each dwelling shall be accessed be through a street level lobby or through a combination of street/porch/platform level lobby accessible from the street.
- The entry to each ground floor dwelling shall be directly from the street. Secondary access may be through an elevator/stair corridor.
- Interior circulation to each unit shall be through a double or single loaded corridor.

Amenity space.

The primary shared open space is the rear yard, which shall be designed as a courtyard. The rear yard may be designed for ground installation or as the lid of a below-grade parking garage or garage deck. Side yards are allowed for common use gardens.

2 Sites shall be designed to provide usable open space with a total area of 15% of the lot.
3 Central courtyards, roof decks, green roofs, plaza and courtyards may be included in the
4 cumulative total area. No arcade may encroach into the required minimum width of the
5 courtyard.

6 In a project with multiple courts at least two of the courts shall conform to the patterns
7 below:

8 • Optimal court dimensions are 40 feet when the long axis of the court is oriented
9 East/West and 30 feet when the court is oriented North/South.

10 • In 40-foot wide courts, the frontages and architectural projections allowed within the
11 applicable zone are permitted on two sides of the court; they are permitted on one side of a
12 30-foot wide court.

13 • Private open space is allowed in side and rear yard, courts, balconies and roof decks.

14 • Courts shall not be less than 1:1 between width and height.

15 • Private patios may be provided in side and rear yards.

16 **Landscape.**

17 Landscape may not be used to separate a front yard from the front yards on adjacent
18 parcels. Trees may be placed in front yards and in side yards to create a sense of place.

19 At least one large tree shall be provided or an existing significant tree shall be maintained
20 in each rear yard for shade and privacy.

21 Courtyards located over below grade garages shall be designed to avoid the sense of
22 planters and hardscape landscaping.

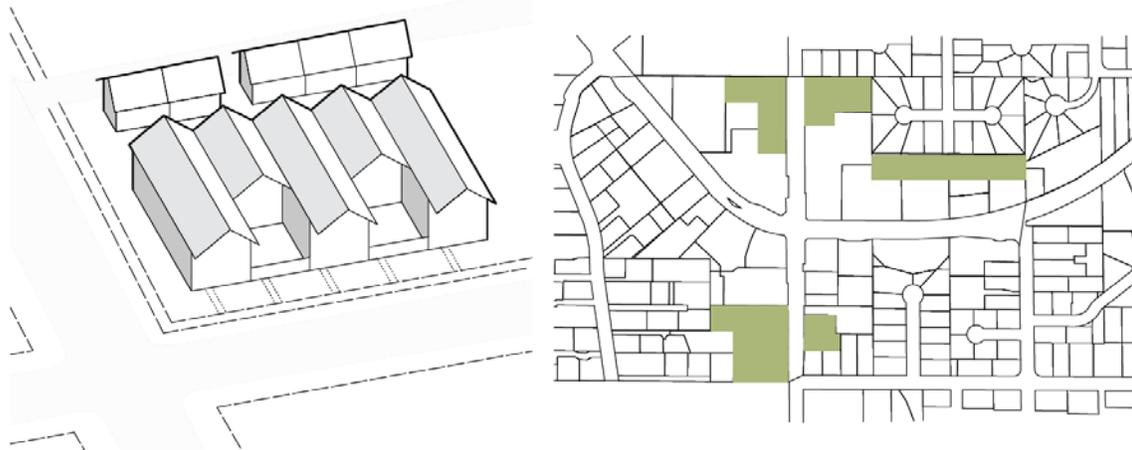
23 **Building size and massing.**

24 Buildings shall be composed of flats, lofts, and rowhouses alone or in combination.

25 • Units may be repetitive or unique in design.

26 • Buildings shall be composed of one, two, and three story masses, each designed to house
27 scale. The building is not required to appear to be one
28 building.

4. Live-Work



Live-Work type diagram and allowed locations.



Description

An integrated housing unit and working space, up to 3 stories in height, occupied and utilized by a single household in a structure, either single family units in clusters or a multi-family building, that has been designed to accommodate joint residential and work activity uses. Work uses shall be at the ground floor. A live-work structure may be located on a qualifying lot in the Westgate District, as shown in the Allowed Location Diagram, Figure 3.2-8.

Access

The primary entrance to each ground floor work/flex space shall be accessed directly from and face the external street if feasible. Where dwellings are accessed from internal streets, then the primary entrance to each dwelling shall be accessed directly from and face the internal street

2 The upstairs residential unit shall be accessed by a separate entry and internal stair that is
also accessed from and faces the street. Access may also be provided by a shared lobby that
provides separate access to the commercial/flex and dwelling uses.

4 Parking and services shall be accessed from an alley or tuck-under parking. Parking
entrances are allowed on an internal street or alley if the garage entrance does not occupy
6 more than one half the building frontage.

Amenity Space

8 Front Yards are defined by the street Required Building Line and frontage type
requirements of the zone.

10 One usable outdoor space shall be provided behind the live-work at no less than 15% of the
lot area and of a regular geometry with a minimum dimension of 20 feet. Where buildings
12 back up to steep topography, the open space is not required to be usable. Alternatively, 50%
of the usable open space may be provided at the front of the lot.

Landscape

14 Landscape shall not obscure the storefront of the ground floor flex/work space.

16 At least one large tree shall be provided or an existing significant tree shall be maintained
in each rear yard for shade and privacy.

Frontage

18 • Commercial/work/flex space on the ground floors and living areas on upper floors should
20 be oriented toward the fronting street. Service rooms should be oriented towards the side and
rear yards.

22 • Commercial/work/flex spaces shall conform to Storefront Type Standards.

24 • Buildings on corner lots may provide an appropriate frontage type on both the front street
and a secondary frontage type on the side street facade.

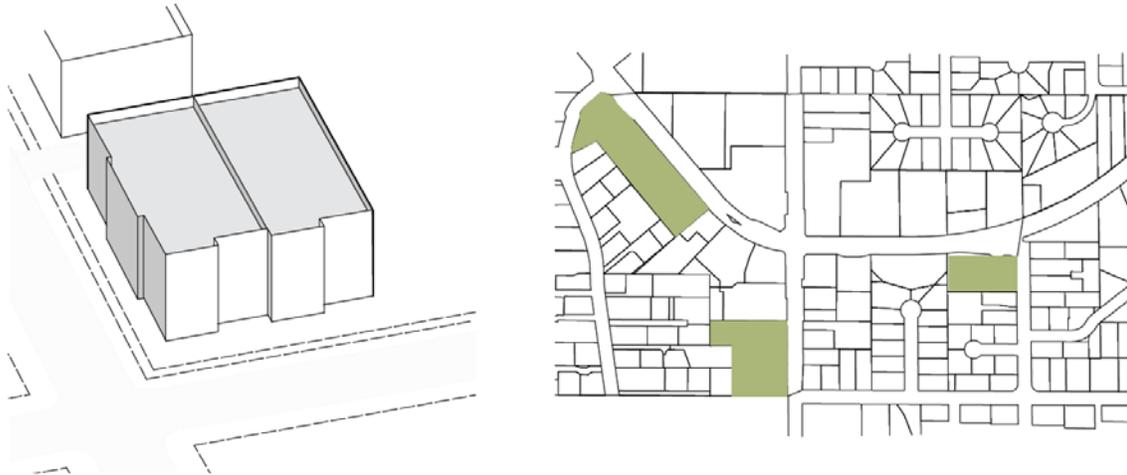
Building Size and Massing

26 Buildings shall be composed of 2- and/or 3-story volumes in compliance with the
applicable zone.

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5. Loft Mixed-Use



Loft Mixed-Use type diagram and allowed locations.



Description

Loft Mixed-use buildings are predicated on horizontal repetition and vertical stacking of units organized on lobby, corridor, and stairs or elevator access. Loft buildings up to 3 stories in height are permitted. These buildings have greater height per floor to accommodate the second floor loft area within a unit. These buildings may be used for residential, office, and commercial uses.

Access

- The primary entrance to each unit shall be accessed be through a street level lobby or through a combination of street/porch/platform level lobby accessible from the street.
- The entry to each ground floor unit may be through an elevator/stair corridor.
- Interior circulation to each unit shall be through a double or single loaded corridor.
- Access to upper level loft areas via an internal stair.

Amenity space.

2 The primary shared open space is the rear yard. The yard may be designed for ground
installation or for the lid of a below grade parking garage or garage deck. Side yards are
4 allowed for common use gardens.

6 In a project with multiple courtyards at least two of the courtyards shall conform to the
patterns below:

8 • Optimal court dimensions are 40 feet when the long axis of the court is oriented
East/West and 30 feet when the court is oriented North/South.

10 • In 40-foot wide courts, the frontages and architectural projections allowed within the
applicable zone are permitted on two sides of the court; they are permitted on one side of a
30-foot wide court.

12 • Private open space is allowed in side and rear yard, courtyards, balconies and roof decks.

14 • Courtyards shall not be less than 1:1 between width and height.

16 • Private patios may be provided in side and rear yards.

18 • The minimum courtyard shall be 15% of the lot area. Central courtyards, roof decks,
green roofs, plaza and courtyards may be included in the cumulative total area.

20 • No arcade may encroach into the required minimum width of a courtyard.

Landscape

Landscape may not be used to separate a front yard from front yards on adjacent parcels.

22 Trees may be placed in front yards and in side yards to create a sense of place.

24 Courtyards located over below grade garages shall be designed to avoid the sense of
planters and hardscape landscaping.

At least one tree shall be provided in the rear yard directly in the ground or as a part of
podium landscape design.

Building Size and Massing.

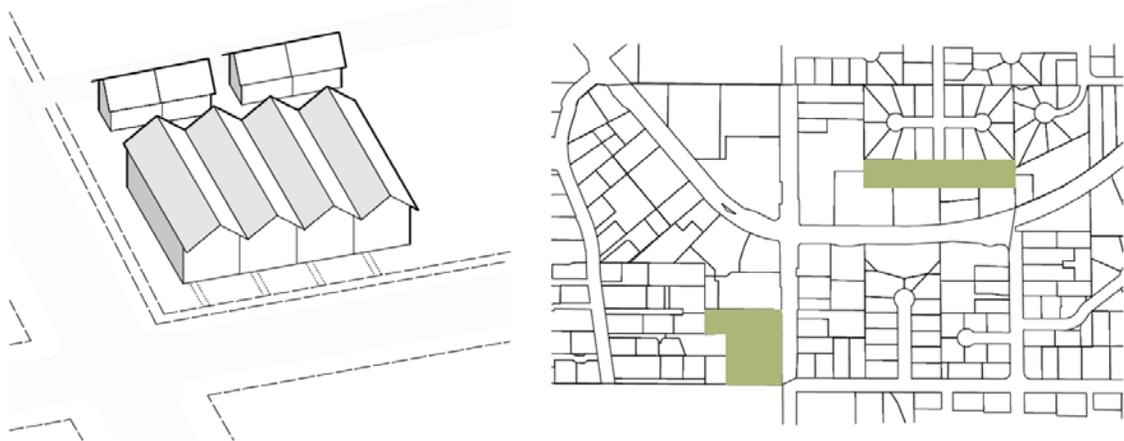
26 Buildings shall be composed of lofts alone or above commercial space on the ground level.
Units may be repetitive or unique in design.

28 • Buildings shall be composed of one, two, or three story masses, each designed to loft
scale.

30 • The building is required to appear to be one building.

32 • The main volume may be flanked by a secondary volume.

6. Side Court Mixed-Use



Side Court Mixed-Use type diagram and allowed locations.



Description

A single or cluster of buildings up to 3 stories in height containing dwelling units or office suites arranged to share one or more common courtyards. The individual units or suites are rowhouses, flats or stacked flats. The side courtyard is a semi-public space that is adjacent to the public realm. Side courtyard types may house ground floor commercial spaces with office or dwelling units above. Side court buildings may be located on a qualifying lot in the Westgate District, as shown in the Allowed Location Diagram, Figure 3.2-12.

Access

- The main entry to each ground floor dwelling shall be directly off the common courtyard or directly from an external street. Access to commercial and office uses shall be directly from an external street or side courtyard.
- Access to second-story units or suites shall be through an open, open roofed, or internal stair.
- Parking shall be accessed through an alley if present.

• Parking shall be accessed from the exterior street via a driveway if no alley is present. The drive shall be 7 to 10 feet wide and with 2 foot planters on each side.

• Parking entrances to below grade garages and driveways should be located as close as possible to the side or rear of each lot.

• Entrance doors and living spaces (great room, dining, living, family) should be oriented toward the courtyard and/or exterior street. Service rooms may be oriented toward the side-yard, rear yard or alley.

Amenity space.

Front Yards are defined by the street Required Building Line. Courtyard buildings shall be designed to provide a side courtyard and or multiple separated or interconnected courtyards with a minimum dimension of 20 feet and 15% of the lot area. No exterior arcade may encroach into the required minimum width of the side courtyard.

In a project with multiple courtyards at least two of the courtyards shall conform to the patterns below:

• Dwellings shall face an active side yard.

• Major ground floor rooms shall be open to the active side yard with large windows and doors.

• When located on an active side yard, a driveway shall be integrated into the design of the yard through the use of a reduced paved area, permeable paving materials for a landscaped area and usable outdoor space.

• Rear yards are not required.

Landscape

Landscape may not be used to separate a front yard from the front yards on adjacent parcels. Front yard trees shall be of porch scale where adjacent to the porch (at tree's maturity, no more than 1.5 times the height of the porch) except at the margins of the lot and as a part of the frontage landscaping at the street sidewalk interface, where they may be of house scale (no more than 1.5 times the height of the house at the maturity of the tree).

At least one large tree shall be provided or an existing significant tree shall be maintained in each rear yard for shade and privacy. Trees may also be placed in side yards for privacy.

Building Size and Massing

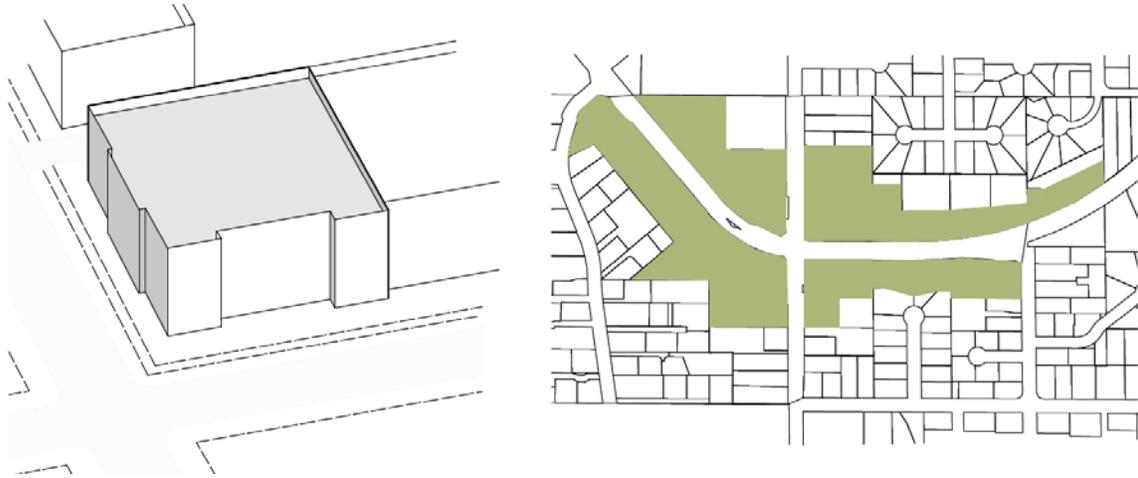
• Buildings shall be composed as large single buildings of up to 3 stories in height, and to the side yards as two-and three-story masses where grades allow.

• The building elevation abutting an inactive side yard shall be designed to provide at least one horizontal break of at least three feet and one vertical break.

• Buildings on corner lots shall be designed with two facades of equal architectural expression.

• Units within the buildings may be flats and/or townhouses.

7. Commercial Block Mixed-Use



Commercial Block Mixed-Use type diagram and allowed locations.



Description

Commercial block dwellings of up to 3 stories in height are permitted. These buildings are designed for retail, service, and /or office uses on the ground floor street frontage, with upper floors configured for dwelling units or commercial uses. The buildings are predicated on horizontal repetition and vertical stacking of units organized on lobby, corridor, and stairs or elevator access. These buildings shall be used for nonresidential commercial uses on the ground level. These buildings are located on a qualifying lot in the Westgate District, as shown in the Allowed Location Diagram, Figure 3.2-14.

Access

- The primary entrance to each building shall be accessed be through a street level lobby or through a combination of street/porch/platform level lobby accessible from the street.
- Interior circulation to each unit shall be through a double or single loaded corridor.

• The entry to each ground floor commercial space shall be directly from and face the street.

Amenity space.

The primary shared open space is the rear yard. The yard may be designed for ground installation or for the lid of a below grade parking garage or garage deck. Side yards are allowed for common use gardens. In a project with multiple open space areas at least two of the courts shall conform to the patterns below:

• Optimal open space area dimensions are 40 feet when the long axis of the court is oriented East/West and 30 feet when the court is oriented North/South. No arcade may encroach into the required minimum width of a courtyard.

• In 40-foot wide courts, the frontages and architectural projections allowed within the applicable zone are permitted on two sides of the court; they are permitted on one side of a 30-foot wide court.

• Private open space is allowed in side and rear yard, courts, balconies and roof decks.

• Open space areas shall not be less than 1:1 between width and height.

• Private patios may be provided in side and rear yards.

• The minimum open space area shall be 15% of the lot area. Central courtyards, roof decks, green roofs, plaza and courtyards may be included in the cumulative total area.

Landscape

Private landscaping is required. Trees may be placed in front yards and in side yards to create a sense of place.

Open space areas located over below-grade garages shall be designed to avoid the sense of planters and hardscape landscaping. At least one tree shall be provided in the rear yard directly in the ground or as a part of podium landscape design.

Building Size and Massing

Buildings shall be composed of office, retail, flats, or lofts alone or above commercial space on the ground level. Units may be repetitive or unique in design.

• Buildings shall be composed of one, two, or three story masses. The building is required to appear to be one building.

• The main volume may be flanked by a secondary volume.

• Large floor plate retail such as grocery stores, nursery, and exercise gyms are allowed on the first or second floors of a mixed-use building.

16.110.020 Frontage Types.

2 Purpose

4 This Section defines how the buildings within Westgate relate to the public realm of the sidewalk and other common use areas. The purpose of defining Frontage Types is to encourage the development of a variety of frontage types and to encourage each building to relate to the public realm in ways that are attractive, inviting, and accessible to all.

6 Principles and Standards

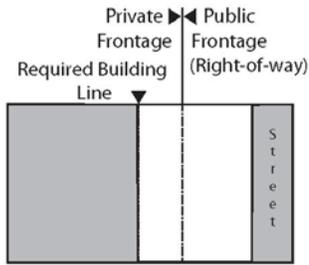
8 The frontage types for each proposed development shall be designed in ~~compliance with the principles of the City of Edmonds Comprehensive Plan Housing Element and in~~ concert with the Building Types and standards presented in sections ###.

10 Primary frontage. “Primary frontage” is frontage that faces main public spaces or circulation areas of higher pedestrian importance. Entrances are required. Examples are street fronts or interior access drives that link developments.

12 Secondary frontage. “Secondary frontage” is frontage that faces areas of lesser pedestrian importance. Entrances to buildings are not required. Examples include SR-104 when an alternative interior drive or pedestrian walkway is able to provide linkage to other developments and pedestrian connections within the overall developed area or Westgate quadrant.

14 This section identifies five Frontage Types for primary frontages, as shown in Figure ###. Each of the five frontage types are described and depicted in a section view. For each Frontage Type, the description concludes by identifying those Building Types for which that Frontage Type is permitted. For secondary frontages (permitted along portions of SR 104, for example), no building entrance is required and the frontage types shown in Figure ### do not apply. However, secondary frontages for retail uses along a public street are required to provide windows facing the public street, glazed with clear glass and occupying no less than 24 60% of the sidewalk-level story.

26 In general, entries to ground floor commercial space shall be directly from and face the related primary frontage. Additional entries may be provided, for example from parking or 28 secondary frontages.



a. Terrace or Elevated Entry: The main façade is set back from the frontage line by an elevated terrace or entry. This type buffers residential use from sidewalks. The elevated terrace is also suitable for outdoor cafes (1). Terrace or Elevated Entry frontage is allowed on all building types.



b. Forecourt: The main façade is at the required building line with a portion set back for a small court space. The court could be used to provide shopping or restaurant seating in commercial buildings, or as an entry court for residential buildings. This type should be used sparingly (1). Forecourt frontage may be used on Courtyard, Stacked Dwellings, and Live-Work building types.



c. Stoop: The main façade is near the frontage line with the first story elevated to provide privacy. The stoop is appropriate for ground floor residential use (1). Stoop frontage may be used on Rowhouse, Courtyard, Live-Work, and Stacked Dwellings building types.



d. Shopfront: The main façade is aligned close to the frontage line with the building entrance at sidewalk grade. The covering shall extend far enough to provide pedestrians protection from the weather. This type is appropriate for retail or office use only. Shopfront frontage may be used on Stacked Dwellings, Live-Work, Loft Mixed-Use, Side Court Office, or Commercial Block Mixed-Use building types where the building provides ground floor retail or office uses.



e. Gallery (or arcade): The main façade is set back from the frontage line with an attached cantilevered colonnade overlapping the sidewalk. The entry should be at sidewalk grade. The gallery/arcade should be no less than 8' feet wide. This type is appropriate for retail or office use only. Gallery/arcade frontage may be used on Stacked Dwellings, Live-Work, Loft Mixed-Use, Side Court Office, or Commercial Block Mixed-Use building types where the building provides ground floor retail or office uses.

(1) Frontages a, b, and c are not allowed within 100 feet measured from the building corner at the intersection of 100th Ave W. and SR-104.

2

4 **16.110.030 Green Building Construction and Housing.**

Purpose

6 The purpose of this Section is to encourage the development of a variety of housing choices
 8 available to residents of all economic segments and to encourage sustainable development
 through the use of development standards, requirements and incentives.

Green Building, and Site Design Criteria

10 All development in the Westgate District shall meet Built Green 1-to-3 star or LEED
 12 Certified rating or equivalent as a requirement and shall meet a minimum Green Factor Score
 of 0.3.

Sustainable site design.

All development shall meet Built Green 1-to-3 star or LEED Certified standards, or an equivalent. Green Factor Score requirements shall be used in the design of sustainable site features and low-impact stormwater treatment systems. A Green Factor Score of 0.3 is required of all developments (see Section 5.2).

Pervious surfaces shall be used where possible and may include: pervious pavement, pervious pavers and vegetated roofs. Capture and reuse strategies including the use of rainwater harvesting cisterns can be substituted for the effective area of pervious surface required.

Runoff generated on-site shall be routed through a treatment system such as a structured stormwater planter, bioswale, rain garden, pervious pavement, or cisterns. Runoff leaving the site shall conform to City of Edmonds Stormwater Management Code Chapter 18.30 of the City of Edmonds Municipal Code.

Housing.

To promote a balance in age demographics and encourage age diversity, the City of Edmonds Economic Development Commission is actively encouraging a greater number of dwelling units targeting young professionals and young workers through workforce housing provisions. The Westgate Mixed Use District requires that at least 10% of residential units shall be very small units designed for affordable workforce housing (under 900 square feet) and that not more than 10% of all dwelling units may exceed 1,600 square feet in size.

16.110.050 Circulation and parking.

A. Alternative transportation.

The goals of the Westgate Mixed Use District include improving connectedness for pedestrian and bicycle users. Developers of private property within Westgate are expected to support the pedestrian and bicycle use of the District by providing:

- Internal circulation systems for both bicyclists and pedestrians within the property,
- Connections to off-site systems in the public right-of-way and on adjacent properties,
- Bicycle racks and other supportive facilities, and
- Connections to bus stops and transit routes.

B. Internal circulation drives.

The concept for an Internal Circulation drive is that of a shared street (or woonerf). This concept is intended to provide access to new residential developments, new and existing businesses, and provide pedestrian connectivity and to reduce the impact of local traffic movement on surrounding arterial streets.

Thoroughfare Type: shared street

Movement: yield

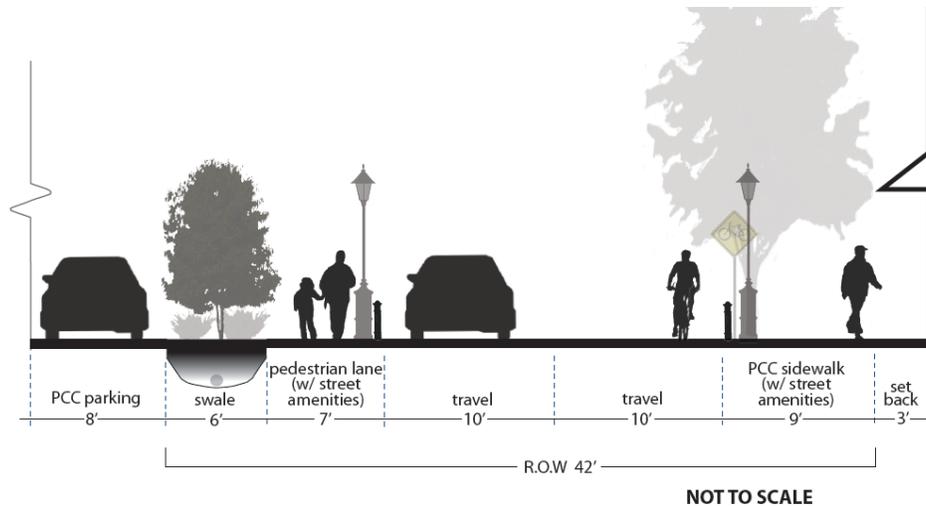
Design Speed: 10 mph

Traffic Lanes: 10 feet

Parking: none

Curb to Curb Distance: no curbs

Sidewalks: 6 feet



2 *Sample street section for internal circulation drive.*

4 **C. Parking**

6 The Westgate District parking standards are intended to reinforce that the area is pedestrian-oriented and intended to be equally accessible by people on foot, in wheelchairs, on bicycles, or travelling by motorized vehicles. These standards strive to:

- 8 (a) maximize on-street parking; and
- (b) encourage the development of shared parking; and
- 10 (c) promote density and diversity of the built environment.

12 Design standards for parking lots include the following:

- 14 (a) No off-street surface parking lot shall occupy more than seventy percent (70%) of the total lot or building parcel.
- (b) No parcel shall be used principally as a parking lot.
- 16 (c) The edge of any surface parking lot shall be planted with shrubs or street trees, planted at an average distance not to exceed thirty (30) feet on center and aligned three (3) to seven
- 18 (7) feet behind the common lot line. This requirement may be reduced for parking lot edges abutting parking on adjacent lots, when parking lots are linked by vehicular and pedestrian
- 20 connections (see item (h) below).
- (d) A minimum tree canopy coverage of 40% in 10 years and and no less than 60% in 20
- 22 years.
- (e) Edges along any common lot lines shall have a setback of at least (1) foot of the
- 24 common lot line.
- (f) Parking lot pathways are to be provided every four rows of parking and a maximum
- 26 distance of 180 feet shall be maintained between paths. Pathways shall connect with major building entries or other sidewalks, pathways, and destinations, and must be universally
- 28 accessible and meet ADA standards.

(g) Landscaping in parking lots shall integrate with on-site pathways, include permeable pavements or bioswales where feasible, and minimize use of impervious pavement.

(h) Where a parking lot is abutting another parking lot on an adjacent parcel, a connection between lots is strongly encouraged, to facilitate circulation within Westgate and to reduce the need for vehicles to return to the street when traveling between sites.

16.110.070 Amenity Space and Green Feature Standards.

A. Purpose and intent.

This section identifies the types of amenity spaces and green open space allowed within the Westgate District as indicated by the Regulating Framework (Section 2.0), and provides design standards for each type, to ensure that proposed development is consistent with the City of Edmonds goals for character and quality of the places surrounding the buildings on private property within the Westgate area. This section also describes the Green Factor requirements that apply to each development within Westgate.

The intent of the proposed system is not only to establish amenity spaces that serve the community and local needs, but also to provide for the protection and enhancement of natural resources for the benefit of the greater community. Core principles of the Westgate District plan are to promote:

- an environment that encourages and facilitates bicycling and pedestrian activity — “walkable” streets that are comfortable, efficient, safe, and interesting; and
- coherence of the public-right-of-way, serving to assist residents, building owners and managers with understanding the relationship between the publicright-of-way and their own properties; and
- sustainability by providing for trees and plants which contribute to privacy, the reduction of noise and air pollution, shade, maintenance of the natural habitat, conservation of water and rainwater management.

B. Green Factor Requirements and Fulfillment

Overview

The Green Factor sets a minimum score that is required to be achieved through implementation of allowed landscaping practices. The program provides a menu of landscaping practices that are intended to increase the functional quantity of landscape in a site, to improve livability and ecological quality while allowing flexibility in the site design and implementation. In this approach, each allowed landscape feature utilized in a project earns credits that are weighted and calculated through use of the Green Factor Scoresheet. The score is based upon the relationship between the site size and the points earned by implementation of the specified landscape features.

For example, credits may be earned for quantity and size of trees and shrubs, bioretention facilities, and depth of soil. Built features such as green roofs, vegetated walls and permeable paving may also earn credits. Bonus points may be earned with supplementary elements such as drought tolerant and native plants, rainwater irrigation, public visibility and food cultivation. Scoring priorities come from livability considerations, an overall decrease in impervious surfaces and climate change adaptation. The functional benefits target a reduction in stormwater runoff, a decrease in building energy, a reduction in greenhouse gas emissions, and an increase in habitat space.

The minimum score required for all new development in the Westgate District is .30, earned through implementation of features that comply with Green-Factor standards. Other site requirements such as Setbacks, Open Space Standards (see 5.3), Street and Parking Standards (see 4.2, 5.4, 5.5), and City of Edmonds Municipal Stormwater Code and City of Edmonds Code for Landscaping Requirements (EMC 20.13) also apply. Green Factor credit may be earned for these site requirements if they comply with Green Factor standards.

Application and Implementation

2 The Green Factor for the Westgate District uses for reference Seattle Green Factor tools.
These include:

- 4 • the Green Factor Worksheet
- the Green Factor Score Sheet
- 6 • Landscape Improvement checklist
- suggested Plant and Tree lists.

8 Examples of these tools are included in Appendices 5a and 5b, and on Seattle’s Green
Factor website: <http://www.seattle.gov/dpd/Permits/GreenFactor/Overview/default.asp>.

10 Additional resources available on Seattle’s Green Factor website include:

- 12 • guidelines for a required Landscape Management Plan
- Director’s Rule 10-2011 for Landscaping and Green Factor Standards
- Rainwater Harvest Calculation Tool
- 14 • An illustrated guide to Green Factor features, developed by The Berger Partnership In
complying with the Green Factor Code, the following steps apply:

16 Step 1. Designers and permit applicants select features to include in planning their site and
building and apply them to the site design. Applicants track the actual quantity—e.g. square
18 footage of landscaped areas, pervious paved amenity space, number of trees—using the Green
Factor Worksheet.

20 Step 2. Calculations from the Worksheet are entered on the Scoresheet. The professional
also enters the site’s square footage on the electronic Scoresheet. The instrument then scores
22 each category of proposed landscape improvements, and provides a total score in relation to
the overall site size. The designer can immediately know if the site design is achieving the
24 required score of .30, and can adjust the design accordingly. Note that improvements to the
public right-of-way (such as public sidewalks, street tree plantings) are allowed to earn points,
26 even though only the private site square footage is included in the site size calculation.

28 Step 3. The landscape professional submits the Scoresheet with the project plans, along
with the Landscape Improvement Checklist certifying, under both financial and perjury
penalty, that the plan meets or exceeds the minimum Green Factor Score and other
30 requirements for the property. The submission also requires indication that a Landscape
Management Plan has been submitted to the client.

32 Step 4. City of Edmonds planning technicians verify that the code requirements have been
met before issuance of a permit.

34 Using Green Factor with Other Requirements

36 While a specific green feature may count for both Green Factor calculations and other
requirements such as Open Space, the requirements for each need to be met. As described in
section 5.3 of this code, Open Space includes Amenity Space, which is usable open space
38 with dimensions for recreational and passive leisure use. In conjunction with the Green Factor
requirements, the percentage of Amenity Space for Westgate is 15% of lot size, to be
40 addressed within each development project, with the possibility of cooperative aggregation
between projects. The Open Space section 5.3 also addresses Green Feature requirements,
42 such as retention of vegetation on steep slopes, specifications for tree size, and stormwater
management (referring to EMC Chapter 18.30); these features are likely to overlap with and
44 contribute to the Green Factor score. Design features included in Private Street and Parking
Standards (sections 5.4 and 5.5 of this plan) and public Street Standards (Section 4.2) may
46 also overlap and contribute to the Green Factor score.

Green Factor Categories:

- 2 Landscape Elements
 - Landscaped Areas (based on soil depth)
 - 4 • Bio-retention Facilities
 - Plantings (mulch and ground cover)
 - 6 • Shrubs and Perennials
 - Tree Canopy (based on tree sizes)
 - 8 • Green Roofs
 - Vegetated Walls
 - 10 • Approved Water Features
 - Permeable Paving
 - 12 • Structural Soil Systems
 - Bonuses for Drought Tolerant Plants, Harvested Rain Water, Food Cultivation, etc.

C. Open Space Standards

The Westgate District includes two types of open space: Amenity Space and Green Open Space.

Amenity Space

Amenity space is designed to provide residents of all ages with a variety of outdoor experiences. Although the character of these amenity spaces will differ, they form the places that encourage residents and visitors alike to spend time in the company of others or to find solitude in an outdoor setting.

All new development shall provide a minimum of 15% of parcel size as amenity space. Additional amenity space above the 15% base requirement is encouraged and can be part of the development’s Green Factor plan outlined in Section ### and can contribute to bonus heights as defined in section ##.

The types of amenity space include:

(a) Lawns: An open space, available for unstructured recreation. A lawn may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees and shall provide a minimum of 60% planted pervious surface area (such as a turf, groundcover, soil or mulch.)

(b) Plazas: An open space, available for civic purposes and commercial activities. A plaza shall be spatially defined primarily by building facades, with strong connections to interior uses. Its landscape shall consist primarily of pavement. Trees are encouraged.

Plazas shall be located between buildings and at the intersection of important streets. Plazas shall provide a minimum of 20% planted pervious surface area (such as a rain garden, bioswale, turf, groundcover, soil or mulch). The remaining balance may be any paved surface with a maximum 30% impervious paved surface.

(c) Squares: An open space available for unstructured recreation and civic purposes. A square is spatially defined by building facades with strong connections to interior uses. Its landscape shall consist of paths, lawns and trees with a minimum of 20% planted pervious surface area (such as a rain garden, bioswale, turf, groundcover, soil or mulch). The remaining balance may be any paved surface with a maximum 30% impervious paved surface.

2 (d) Accessible Green Rooftops: Accessible green rooftops can confer significant added value
4 to building’s occupants or to the general public with benefits ranging from enhanced
6 educational opportunities for schools, “roofparks”, horticultural therapy, and even food
8 production. Accessible green rooftops that provide these benefits may count toward required
10 amenity space.

12 (e) Sidewalks: The purpose of sidewalks is to provide safe, convenient, and pleasant
14 pedestrian circulation along all streets, access to shopfronts and businesses, and to improve
16 the character and identity of commercial and residential areas consistent with the City of
18 Edmonds vision. New development meeting the standards of this plan are allowed to use a
20 portion of the sidewalk area within the public right-of-way for outdoor seating, temporary
22 displays, or other uses provided that pedestrian movement is accommodated.

24 **Green Open Space**

26 The goal for the overall open space in the Westgate District is to create a unified, harmonious,
28 and aesthetically pleasing environment that also integrates sustainable concepts and solutions
30 that restore natural functions and processes. In addition to amenity space, the Westgate
32 District shall incorporate green open space, which includes:

34 (a) Trees: The location and selection of all new tree planting will express the underlying
36 interconnectivity of the Westgate District and surrounding neighborhoods. Species selection
38 will be in character with the local and regional environment, and comprised of an appropriate
40 mix of evergreen and deciduous trees. Trees will be used to define the landscape character of
42 recreation and amenity space areas, identify entry points, and reinforce the legibility of the
44 District by defining major and minor thoroughfares for pedestrians, bicycles and vehicles.

- All new development shall preserve existing trees wherever feasible.
- All new development shall plant new trees in accordance with the Edmonds Municipal Code Chapter 20.13.

(b) Steep Slopes: New development shall protect steep slopes by retaining all existing trees and vegetation on slopes exceeding 15%.

(c) Stormwater Management: Stormwater runoff from sidewalks shall be conveyed to planted parkways. Overflow from parkways and runoff from the roadways will be directed into bioswales and/or pervious paving in curbside parking areas, located along the street edges where it can infiltrate into the ground. Perforated curbs through which street stormwater runoff can flow to open vegetated swales can also be provided, wherever feasible.

34 **16.110.080 Public Space Standards.**

36 In the Westgate District— and within the larger context of the City of Edmonds— there
38 are multiple opportunities to enhance public space for recreational use, pedestrian activity,
40 and ecological health. Future development of the Westgate District shall capitalize on these
42 opportunities to strengthen the overall character of the District’s public space.

40 **Public Space: General Requirements**

42 Public space shall enhance and promote the environmental quality and the aesthetic
44 character of the Westgate District in the following ways:

- (a) the landscape shall define, unify and enhance the public realm; including streets, parks, plazas, and sidewalks;

2 (b) the landscape shall be sensitive to its environmental context and utilize plant species
that reduce the need for supplemental irrigation water; ~~and~~

4 (c) the landscape shall cleanse and detain storm water on site by utilizing a combination of
biofiltration, permeable paving and subsurface detention methods; ~~and,~~

6 (d) the landscape shall be compatible with encouraging health and wellness, encouraging
walking, bicycling, and other activities.

8 **Public Space: Sustainability**

10 The goal for the overall landscape design of public spaces is to create a unified,
harmonious, socially vibrant, and aesthetically pleasing environment that also integrates
12 sustainable concepts and solutions to restore natural functions and processes. The public right
of way and urban\street runoff becomes an extension of existing drainage pathways and the
natural ecology.

14 Water efficient landscaping shall be introduced to reduce irrigation requirements based on a
soil/ climate analysis to determine the most appropriate indigenous/native-in-character, and
16 drought tolerant plants. All planted areas, except for lawn and seeded groundcover, will
receive a surface layer of specified recycled mulch to assist in the retention of moisture and
18 reduce watering requirements, while minimizing weed growth and reducing the need for
chemical herbicide treatments.

20 Where irrigation is required, high efficiency irrigation technology with low-pressure
applications such as drip, soaker hose, rain shut-off devices, and low volume spray will be
22 used. The efficiency and uniformity of a low water flow rate reduces evaporation and runoff
and encourages deep percolation. After the initial growth period of three to seven years,
24 irrigation may be limited in accordance with City requirements then in place.

26 The location and selection of all new tree planting will adhere to ‘green infrastructure’
principles by visually expressing the underlying interconnectivity of the neighborhood.
Species selection will be in character with the local and regional environment, and comprised
28 of an appropriate mix of evergreen and deciduous trees. Trees will be used to define the
landscape character of recreation and open space areas, identify entry points, and reinforce the
30 legibility of the neighborhood by defining major and minor thoroughfares for pedestrians,
bicycles, and vehicles. Trees will also be used to soften and shade surface parking and
32 circulation areas.



2

Stormwater management.

4

As outlined in Chapter 18.30 of the 2011 City of Edmonds Municipal Code, the city has two broad goals regarding the management of stormwater:

6

(a) to protect water resources and reduce the discharge of pollutants to the maximum extent practicable to local receiving waters; and

8

(b) to control storm water runoff generated by development, redevelopment, construction sites.

10

Stormwater and hydrology components will be integrated into the Westgate District to restore and maintain natural functions and processes, mitigate negative environmental impacts.

12

14

Public rights-of-way, proposed open space and parking lots will filter and infiltrate stormwater to the maximum extent feasible to protect the receiving waters of Puget Sound. This ecological concept transcends the Westgate District to positively affect the surrounding neighborhoods, stream corridors and the regional watershed.

16

The two primary objectives of the proposed stormwater and hydrology components are:

18

(a) to reduce volume and rate of runoff; and

(b) to eliminate or minimize runoff pollutants through natural filtration.

20

These objectives will be met by:

22

(a) maximizing pervious areas;

(b) maximizing the use of trees;

24

(c) controlling runoff into bioswales and biofiltration strips;

(d) utilizing permeable paving surfaces where applicable and feasible;

26

(e) utilizing portions of parks and recreational spaces as detention basin; and

(f) removing sediments and dissolved pollutants from runoff.

16.110.090 Height Bonus.

2 Areas eligible for a 4th story height bonus are shown in the accompanying figure. In order
4 to obtain the bonus, the proposal must obtain ~~10~~8 points from the Height Bonus Score Sheet,
including points in ~~all four~~ at least three different scoring categories.



ReVisioning Westgate: A District Plan and Form-Based Code

6

Green Building Program (see Section 3.4) **4 Points**

<input type="checkbox"/> Prereq.	Built Green® / LEED® Certified Rating or equivalent	Required
<input type="checkbox"/> Credit 1	LEED® Silver Rating / Built Green® 4-5 / Evergreen Sustainable Development Standards	1
<input type="checkbox"/> Credit 2	LEED® Gold Rating	2
<input type="checkbox"/> Credit 3	Passive House Standard / LEED® Platinum Rating	3
<input type="checkbox"/> Credit 4	Living Building®	4

Green Factor (see Section 2.3 and 5.2) **5 Points**

<input type="checkbox"/> Prereq.	Green Factor Score 0.3	Required
<input type="checkbox"/> Credit 1	Green Factor Score 0.4	2
<input type="checkbox"/> Credit 2	Green Factor Score 0.5	3
<input type="checkbox"/> Credit 3	Green Factor Score 0.6	4
<input type="checkbox"/> Credit 4	Green Factor Score \geq 0.7 Sustainable Sites Initiative™, or equivalent	5

Amenity Space (see Section 5.3) **4 Points**

<input type="checkbox"/> Prereq.	Percentage of amenity space of lot size 15%	Required
<input type="checkbox"/> Credit 1	Percentage of amenity space of lot size 20%	2
<input type="checkbox"/> Credit 2	Percentage of amenity space of lot size 25%	3
<input type="checkbox"/> Credit 3	Percentage of amenity space of lot size \geq 30%	4

Alternative Transportation (see Section 5.6) **Cumulative 5 Points**

<input type="checkbox"/> Prereq.	Meet street standards, including; bikeway and pedestrian networks, and vehicle parking	Required
<input type="checkbox"/> Credit 1	Car share parking, minimum 2 parking spots	1
<input type="checkbox"/> Credit 2	Charging facility for electric cars	2
<input type="checkbox"/> Credit 3	Indoor bicycle storage and changing facilities	1
<input type="checkbox"/> Credit 4	Priority parking for sub-compact (Smart Cars™ and motorcycles)	1

One-story Bonus requires 8 Points Two-story Bonus requires 12 Points

Points in at least 4 categories **Required**

2 When a 4th story is included in a building, the 4th story must be stepped back at least 10 feet from a building façade facing SR-104 or 100th Ave W.



[Note: review and change above diagram to reflect 4 story eligibility (not 5)]

6

|

Height Bonus Score Sheet			
<u>One-story Bonus requires 8 points with points in at least 3 categories</u>¹			
<u>Green Building Program (points are <i>not</i> additive)</u>			<u>Points</u>
<input type="checkbox"/>	<u>Required</u>²	<u>Built Green*/LEED* Certified Rating or equivalent</u>	<u>Required</u>
<input type="checkbox"/>	<u>Credit 1</u>	<u>LEED* Silver / Built Green* 4-5 / Evergreen Sustainable Development Standards</u>	<u>1</u>
<input type="checkbox"/>	<u>Credit 2</u>	<u>LEED* Gold Rating</u>	<u>2</u>
<input type="checkbox"/>	<u>Credit 3</u>	<u>Passive House Standard / LEED* Platinum Rating</u>	<u>4</u>
<input type="checkbox"/>	<u>Credit 4</u>	<u>Living Building*</u>	<u>6</u>
<u>Green Factor (points are <i>not</i> additive)</u>			<u>Points</u>
<input type="checkbox"/>	<u>Required</u>	<u>Green Factor Score 0.3</u>	<u>Required</u>
<input type="checkbox"/>	<u>Credit 1</u>	<u>Green Factor Score 0.4</u>	<u>2</u>
<input type="checkbox"/>	<u>Credit 2</u>	<u>Green Factor Score 0.5</u>	<u>3</u>
<input type="checkbox"/>	<u>Credit 3</u>	<u>Green Factor Score 0.6</u>	<u>4</u>
<input type="checkbox"/>	<u>Credit 4</u>	<u>Green Factor Score ≥0.7</u>	<u>5</u>
<u>Amenity Space (points are <i>not</i> additive)</u>			<u>Points</u>
<input type="checkbox"/>	<u>Required</u>	<u>Percentage of amenity space 15%</u>	<u>Required</u>
<input type="checkbox"/>	<u>Credit 1</u>	<u>Percentage of amenity space 20%</u>	<u>2</u>
<input type="checkbox"/>	<u>Credit 2</u>	<u>Percentage of amenity space 25%</u>	<u>3</u>
<input type="checkbox"/>	<u>Credit 3</u>	<u>Percentage of amenity space ≥30%</u>	<u>4</u>
<u>Alternative Transportation (points <i>are</i> additive)</u>			<u>Points</u>
<input type="checkbox"/>	<u>Required</u>	<u>Meet street standards incl. bikeway & pedestrian networks</u>	<u>Required</u>
<input type="checkbox"/>	<u>Credit 1</u>	<u>Car share parking, minimum 2 spaces</u>	<u>1</u>
<input type="checkbox"/>	<u>Credit 2</u>	<u>Charging facility for electric cars, minimum 4 spaces</u>	<u>1</u>
<input type="checkbox"/>	<u>Credit 3</u>	<u>Indoor/enclosed bicycle storage and changing facilities</u>	<u>1</u>

¹ See locational requirements for extra floor bonus in section xxx

² “Required” means required for all development, whether seeking a height bonus or not.

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